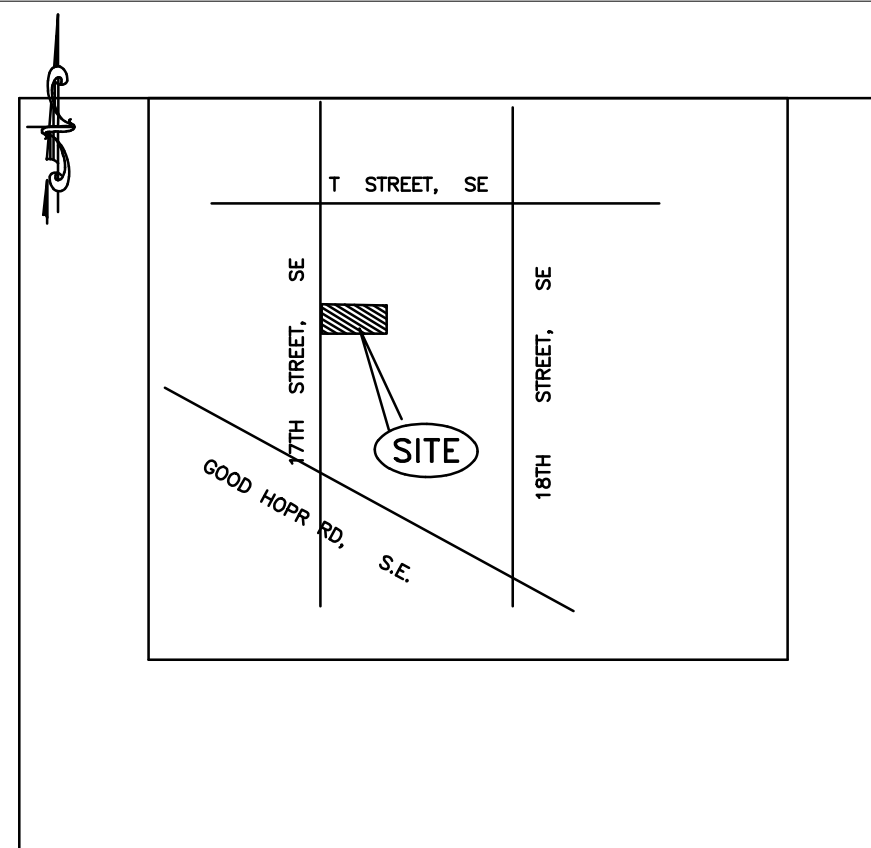


## GENERAL NOTES

- THE GENERAL CONTRACTOR SHALL INVESTIGATE JOB SITE TO COMPARE CONTRACT DOCUMENTS AND EXISTING CONDITIONS. INCLUDE COST FOR ALL WORK DESCRIBED IN CONTRACT DOCUMENTS AND REQUIRED OR IMPLIED BY EXISTING CONDITIONS. NOTIFY OWNER/ ARCHITECT OF ANY CONFLICTS BETWEEN EXISTING CONDITIONS AND NEW WORK, OMISSIONS OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK.
- APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT. PROVIDE COPIES OF ALL TRANSACTIONS TO OWNER. NOTIFY OWNER/ARCHITECT OF ANY VARIANCE WITH CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- PROVIDE, AND PAY FOR ALL MATERIALS, LABOR, EQUIPMENT, TAXES, TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION AND DELIVERY COSTS, HOISTING, REMOVAL OF TRASH AND DEBRIS, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK.
- ALL WORK SHALL BE PERFORMED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED. ALL REFERENCES TO THE "CONTRACTOR" INCLUDE THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER, ALL CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTION OF THE WORK REQUIRED BY THE CONTRACT DOCUMENTS. THE CONSULTANTS ARE NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR DELAYS BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- OTHER CONTRACTORS AND THEIR SUBCONTRACTORS MAY BE WORKING ON THE PREMISES SIMULTANEOUS WITH THE DURATION OF THIS CONTRACT. NO ACTION SHALL BE TAKEN ON THE PART OF THIS CONTRACTOR OR ANY SUB-CONTRACTOR TO IMPEDE THE ACCESS OR OPERATION OF ANY OTHER CONTRACTOR ON THE PREMISES, UNION, OR NON-UNION.
- COOPERATE WITH ALL TRADES ON THE PROJECT NOT UNDER CONTRACT TO THE GENERAL CONTRACTOR (I.E. TELEPHONE, COMPUTER INSTALLERS, ETC.) ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN SUCH TRADES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY DIMENSIONS IN THE FIELD. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.
- THE OWNER SHALL HAVE THE RIGHT TO MAKE FIELD ADJUSTMENTS IN ORDER TO MAINTAIN DESIGN INTENT.
- PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS OF WORKMANSHIP.
- THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, ADDENDA, MODIFICATIONS, GENERAL CONDITIONS OF THE CONSTRUCTION CONTRACT AND SPECIFICATIONS.
- NOT USED
- NOT USED
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL CODES AND REGULATIONS OF ALL GOVERNMENT AUTHORITIES HAVING JURISDICTION. SUCH CODES AND REGULATIONS SHALL HAVE PRECEDENCE OVER THAT WHICH IS INDICATED ON THE CONSTRUCTION DOCUMENTS. IN CASES OF DISCREPANCIES, OMISSIONS, CHANGES IN THE CODES OR CODE INTERPRETATIONS BY CODE OFFICIALS WHICH CAUSE A CHANGE IN THE WORK, NOTIFY THE OWNER PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK AFFECTED BY THE CHANGE.
- "FURNISH" MEANS SUPPLY ONLY FOR OTHERS TO PUT IN PLACE. "PROVIDE" MEANS FURNISH AND INSTALL, COMPLETE AND IN PLACE. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED. CONTRACTOR TO VERIFY DIMENSIONS AND ORIENTATION. "TYPICAL" MEANS IDENTICAL FOR CONDITIONS NOTED.
- GC TO VERIFY FOUNDATIONS AND FOOTINGS, EXISTING & NEW STRUCTURAL DWGS AND INFORM STRUCTURAL ENGINEER OF ANY DISCREPANCIES.
- GENERAL CONTRACTOR SHALL REVIEW THE BASE BUILDING DRAWINGS & DOCUMENTS AND EXISTING BASE BUILDING CONDITIONS, COMPARE AND SHALL COMPLY WITH ALL BUILDING'S CONTRACT REQUIREMENTS AND DESIGN CRITERIA.
- GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE LISTED EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED OR CONCEALED SHALL BE DETERMINED AND REVIEWED WITH ARCHITECT PRIOR TO CONSTRUCTION PROCEEDING. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE THE LAYOUT AND EXACT LOCATIONS OF ANY AND ALL PARTITIONS, TELEPHONE/DATA OUTLETS, LIGHT SWITCHES AND ACCESS PANELS WITH OWNER/ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
- INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS AND PARTITIONS AND DUST BARRIERS TO PROTECT ALL OCCUPANTS AND EXISTING WORK AND FINISHES TO REMAIN. REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTION AT NO ADDITIONAL COST TO OWNER.
- WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS, TOLERANCE OR MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- MAINTAIN ALL EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND LIFE SAFETY SYSTEMS IN WORKING ORDER.
- EXIT DOORS, EGRESS DOORS, AND OTHER DOORS REQUIRED FOR MEANS OF EGRESS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT, DURING CONSTRUCTION.
- FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION, CONTRACTOR SHALL PROMPTLY CORRECT WORK FOUND NOT TO BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BEAR ALL COSTS OF CORRECTIONS.
- CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE CONDITIONS OF THE CONTRACT. LOCAL CONDITIONS RELATING TO LOCATION, ACCESSIBILITY AND GENERAL CHARACTER OF THE CONSTRUCTION SITE AND LOCAL LABOR CONDITIONS SO THAT HE UNDERSTANDS THE NATURE, EXTENT, DIFFICULTIES AND RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK.
- EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK TO MINIMIZE DISTURBANCES TO ADJACENT TENANTS AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES.
- SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL TRADES TO THE OWNER/ARCHITECT, ALLOWING (5) WORKING DAYS FOR REVIEW. NO CONSTRUCTION SHALL PROCEED UNTIL THE SHOP DRAWING APPROVAL HAS BEEN APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATION, INSTALLATION INSTRUCTION, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL.
- ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE CONTRACT.
- ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE. THE DRAWINGS SHOW ONLY GENERAL CONDITIONS TO ASSIST CONTRACTOR; THEY DO NOT ILLUSTRATE NOR ARE THEY INTENDED TO SUGGEST EVERY SUCH DETAIL REQUIRED TO PERFORM THE WORK.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR CONSULTANTS FAILURE TO DISCOVER DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN REQUIRED TIME GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- PROCURE MATERIALS SO AS NOT TO DELAY SUBSTANTIAL COMPLETION. NOTIFY OWNER WITHIN 5 DAYS OF EXECUTION OF CONTRACT OF ANY MATERIAL DELIVERY WHICH WOULD DELAY COMPLETION OF CONTRACT.
- THE OWNER'S DESIGNATED AGENT WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH THE INTENT OF THE DESIGN. REVIEW AND ACCEPTANCE OF ALL ITEMS PROPOSED BY CONTRACTOR FOR INCORPORATION INTO THIS WORK WILL BE BY ARCHITECT. THIS FUNCTION WILL APPLY BOTH TO CONTRACT AS INITIALLY SIGNED AND TO THE CHANGES TO CONTRACT BY MODIFICATION DURING PROGRESS OF WORK.
- REFERENCE TO MAKES, BRANDS, MODELS, ETC. IS TO ESTABLISH TYPE AND QUALITY DESIRED, SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT.
- CORING, DRILLING OR OTHER SUCH WORK IN OR ADJACENT TO OCCUPIED AREAS SHALL BE PERFORMED AT TIMES OTHER THAN NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED. GENERAL CONTRACTOR SHALL DIRECTLY COORDINATE WITH BUILDING OWNER'S REPRESENTATIVE, STRUCTURAL ENGINEER, AND AFFECTED TENANT(S). UTILITY OUTAGES SHALL BE SCHEDULED OUTSIDE NORMAL WORKING HOURS FOR THE AFFECTED OCCUPANCY UNLESS OTHERWISE INDICATED.
- THE GENERAL CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO ELIMINATE DUST, NOISE, ODOR, WATER PENETRATION AND THE LIKE TO THE PREMISES AND THE OCCUPANCY.
- GENERAL CONTRACTOR SHALL PREARRANGE WITH TENANT, OWNER ALL PHASING OF THE WORK INCLUDING DEMOLITION, DELIVERY OF MATERIALS, CONSTRUCTION, CLEANUP, ETC. GENERAL CONTRACTOR SHALL COORDINATE DELIVERIES OF MATERIALS, ELEVATOR USE, ETC., WITH OWNER SO AS NOT TO CREATE CONFLICTS WITH OTHER WORK OR SCHEDULES WITHIN THE BUILDING.
- THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL CONSTRUCTION DOCUMENTS ARE THE LATEST ISSUE AND THAT ALL SUBCONTRACTORS HAVE COMPLETE SETS OF THE LATEST ISSUE OF THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WITH ANY PORTION OF THE WORK.
- JUST PRIOR TO THE TENANT'S OCCUPANCY OF ANY PHASE OF THE WORK, THE GENERAL CONTRACTOR SHALL CLEAN ALL SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIALS AND EQUIPMENT AND LEAVE ALL FLOORS VACUUM CLEAN. REMAINING CONSTRUCTION MATERIALS AND EQUIPMENT, IF ANY, SHALL BE MOVED AND TEMPORARILY SECURED IN AN AREA AS DIRECTED BY THE OWNER.
- ALL FURNITURE LOCATIONS MUST BE FIELD VERIFIED BY OTHERS PRIOR TO SPECIFICATION AND/OR INSTALLATION. AISLE WIDTH OF 3'-8" MIN. MUST BE MAINTAINED UNLESS OTHERWISE NOTED.
- GC TO PREPARE THE OPENING THROUGH HOUSE WRAP AS PER MANUFACTURER'S INSTRUCTIONS. AT EACH CORNER MAKE A 45° CUT IN THE WRAP. FOLD UP THE WRAP SO THAT THE TOP NAIL FIN OF WINDOW UNIT CAN BE INSTALLED UNDERNEATH IT, TAPED AND PROVIDE FLASHING.
- GC TO VERIFY AND ENSURE THE LOCAL CODES COMPLIANCE FOR SAFETY GLASS, EXIT AREA REQUIREMENTS, WHILE ORDERING THE WINDOW UNIT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR & SHALL VERIFY AREA OF LOT, LOT COVERAGE AND COMPLY WITH LOCAL, STATE AND ALL APPLICABLE CODES.

## LOCATION PLAN :

N.T.S.



ARCHITECTURAL DRAWING SHEETS  
A100\_COVER SHEET  
A200\_CELLAR & FIRST FLOOR PLANS  
A201\_SECOND\_THIRD FLOOR & ROOF PLANS  
A203\_DEMO PLANS  
A301\_BUILDING ELEVATIONS, DOOR WINDOWS SCHEDULES, FINISHES & SCHEDULES  
A302\_BUILDING ELEVATIONS  
A303\_BUILDING ELEVATION  
A401\_BUILDING SECTIONS  
A402\_BUILDING SECTIONS & UNIT AREA CALCULATIONS  
A501\_ARCHITECTURAL DETAILS  
A502\_WALL ASSEMBLIES  
A503\_WALL ASSEMBLIES  
A504\_MISC INFO/CUT SHEETS  
A505\_FIRESTOP DETAILS  
A506\_ADDA SHEET  
A601\_ENERGY VERIFICATION SHEET  
A602\_FIRESTOP DETAILS

## GENERAL CONDITIONS

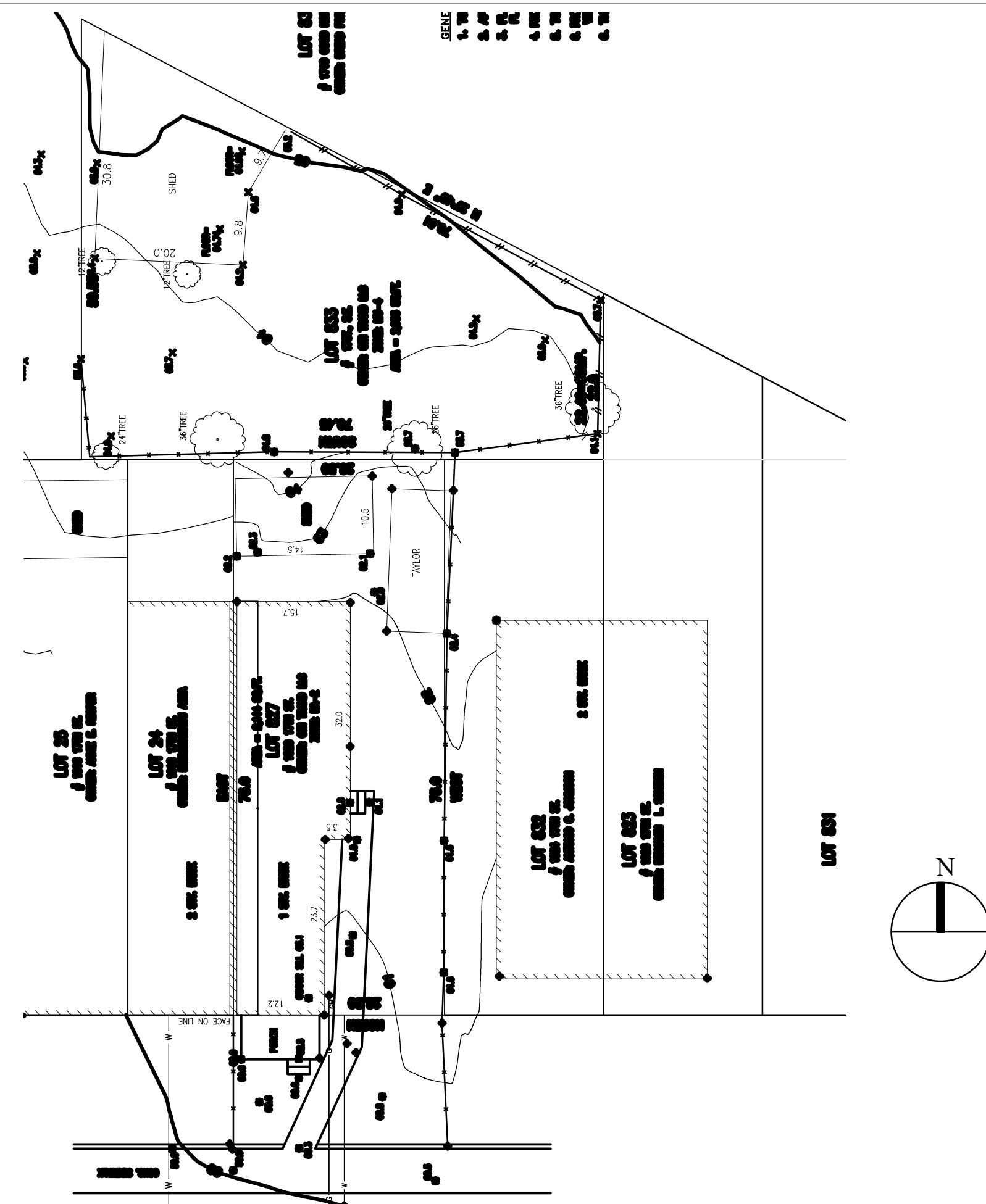
- ALL WORK AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL CODES HAVING JURISDICTION.
- OWNER AND STRUCTURAL ENGINEER TO CHECK AND ENSURE THAT THE EXISTING FOUNDATION CAN RECEIVE THESE ADDITIONS/MODIFICATIONS.
- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR (HEREINAFTER REFERRED TO AS THE AGREEMENT) WITH CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY AND OTHER CONDITIONS), DRAWINGS, SPECIFICATIONS, ADDENDA ISSUED PRIOR TO THE EXECUTION OF THE AGREEMENT, OTHER DOCUMENTS LISTED IN THE AGREEMENT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE AGREEMENT.
- THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL; PERFORMANCE BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.
- THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND (1) BETWEEN THE ARCHITECT/CONSULTANTS AND CONTRACTOR (2) BETWEEN THE OWNER AND A SUBCONTRACTOR OR SUB-SUBCONTRACTOR, OR (3) BETWEEN ANY PERSONS OR ENTITIES OTHER THAN THE OWNER AND CONTRACTOR.
- EXECUTION OF THE CONTRACT BY A CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR HAS VISITED THE SITE AND BECOME FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK AND SHALL NOTIFY OWNER, ARCHITECT AND/OR ENGINEER IF A CONDITION EXISTS WHICH PREVENTS THE CONTRACTOR FROM ACCOMPLISHING THE INTENT OF THE DRAWINGS.
- GC TO CHECK & VERIFY ALL THE EXISTING DIMENSIONS OF THE EXISTING CONDITIONS AND INFORM THE OWNER, BEFORE STARTING THE WORK.
- GC TO CHECK & VERIFY WALL THICKNESS, CONDITION OF BEARING WALL, FOUNDATION AND COORDINATE W/ STRUCTURAL ENGINEER AND INFORM THE OWNER, BEFORE STARTING THE WORK.

## REFLECTED CEILING PLAN NOTES

- G.C. HAS SOLE RESPONSIBILITY TO COORDINATE MECHANICAL, ELECTRICAL, LIGHTING AND FIRE PROTECTION INSTALLATIONS. LIGHT FIXTURE PLACEMENT TAKES PRECEDENCE OVER OTHER TRADES. G.C. WILL ALSO BE REQUIRED TO COORDINATE THE WORK OF THE TENANT'S CONTRACTS FOR TELECOMMUNICATIONS, SECURITY AND AUDIO VISUAL WORK.
- G.C. TO COORDINATE LIGHT FIXTURE DEPTH AND PLACEMENT WITH ALL OTHER ABOVE CEILING WORK PRIOR TO ORDERING OF LIGHT FIXTURES.
- INSTALLATION OF SIGHT Baffles ARE REQUIRED AT RETURN AIR SLOTS, ANY AREA VISIBLE FROM THE ROOM SIDE IS TO BE PAINTED FLAT BLACK.
- CEILING SUPPORT SYSTEMS ARE NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLE, CONDUIT, MECHANICAL EQUIPMENT OR OTHER CONSTRUCTION, ALL SUCH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BASE BUILDING STRUCTURE.
- ALL CEILING MOUNTED LIGHTING AND DEVICES (EXIT SIGNS, SPRINKLERS, RECESSED LIGHTS) IN ACT TO BE CENTERED IN TILE UNLESS OTHERWISE NOTED.
- READ THESE PLANS IN CONTEXT WITH STRUCTURAL DWGS AND INFORM & COORDINATE W/ STRUCTURAL ENGINEER IF THERE ARE DISCREPANCIES.

## SITE PLAN (refer to detailed SITE PLAN)

SCALE: 1/16" = 1'0"



## LIST OF DRAWINGS:

### STRUCTURAL DRAWING SHEETS

S0001\_UNDERPINNING NOTES  
S0002\_UNDERPINNING LAYOUT & SECTIONS  
S0010\_GENERAL NOTES  
S0011\_GENERAL NOTES  
S0101\_CELLAR FLOOR FOUNDATION LAYOUT & SECTIONS  
S0102\_FIRST & SECOND FLOOR FRAMING PLAN  
S0103\_ROOF & ROOF FRAMING PLAN  
S0104\_ROOF FRAMING PLAN  
S0201\_WALL BRACING NOTES & SCHEDULES  
S0202\_WALL BRACING & HOLD DOWN DETAIL  
S0203\_NARROW WALL BRACING DETAIL  
S0501\_TYPICAL DETAIL  
S0502\_TYPICAL DETAILS & OPENINGS

### MEP DRAWING SHEETS

E0000\_ELECTRICAL COVER SHEET & NOTES  
E0001\_FLOOR PLAN  
E0002\_FLOOR PLANS  
E0011\_GENERAL NOTES  
E0004\_FLOOR PLAN  
E0005\_ROOF PLANS  
E0006\_ELECTRICAL RISER & SCHEDULES  
E0007\_ELECTRICAL RISER DIAGRAM  
M0000\_MECHANICAL COVER SHEET  
M0001\_MECHANICAL FLOOR PLANS  
M0002\_MECHANICAL FLOOR PLANS  
M0003\_MECHANICAL DETAILS  
P0000\_PLUMBING COVER SHEET  
P0001\_PLUMBING FLOOR PLANS  
P0002\_PLUMBING FLOOR PLANS  
P0003\_PLUMBING RISER  
P0004\_PLUMBING RISER  
P0005\_PLUMBING SANITARY, GAS & FIRE RISER DIAGRAM

## :APARTMENTS :

1920 17TH STREET, S.E.  
WASHINGTON DC 20020

## PROJECT INFORMATION

PERMIT APPLICATION #: B xxxxx  
OWNERS: CITITRENDS LLC  
DESIGN: KIRIT THAKKAR  
ARCHITECT: KCDC, WASHINGTON DC  
STRUCTURAL ENGINEER: FMC ASSOCIATES  
MEP ENGINEER: K K ENGINEERS  
DESCRIPTION: THE PROPERTY CONSISTS OF TWO LOTS. ONE HAVING RA2 ZONE AND ANOTHER HAVING MU4. AREA CALCULATIONS FOR BOTH THE PROPERTIES ARE SHOWN SEPARATE, IT'S PROPOSED TO CONSTRUCT THE BUILDING AS ONE PROJECT. THE PROJECT HAS CONSTRUCTION TYPE VA HAVING CELLAR AND 3 STORIES ABOVE. CELLAR CEILING IS MAX 3'11" ABOVE AVG GRADE LEVEL. THE FRONT BUILDING 'A' (RA2) HAS 6 APTS AND THE REAR BUILDING 'B' (MU4) HAS 7 APTS. TOTALLING 13 APTS. EXISTING LOT GRADING WILL REMAIN THE SAME.

LOT INFORMATION - BLDG 'A'  
LOT 0827 SQUARE 5612, ZONE RA2 HEIGHT ALLOWED - 50'  
LOT AREAS BY RECORD 2,144.00 SFT  
FAR 1.8, i.e. 3,859.20 SFT  
IZ BONUS 20% OF FAR 3,859.20x20% i.e. 771.84 SFT  
AREA PERMITTED 4,631.04 SFT  
BUILDING FOOT PRINT/CELLAR ALLOWED 60% i.e. 1,286.40 SFT  
EX. BUILDING FOOT-PRINT 1 STORY WD, 972.00 SFT APPRX.  
EXISTING LOT COVERAGE - 45.33 %  
PROPOSED LOT COVERAGE (1282/2144) = 59.85 %  
PROPOSED 1st FLOOR 1,282.00 SFT  
2 & 3 FLOOR 1,282.0 x 2 2,564.00 SFT  
TOTAL PROPOSED AREA 3,846.00 SFT

AREA PROPOSED - BLDG 'A':  
CELLAR LEVEL CEILING IS MAX. 3'11" FROM THE EXISTING GRADE.  
CELLAR LEVEL IS 1,282.00 SFT & NOT COUNTED IN FAR.  
SIDE YARD 8' FOR DETACHED OR SEMI-DETACHED

LOT INFORMATION - BLDG 'B'  
LOT 0833 SQUARE 5612, ZONE MU4 HEIGHT ALLOWED - 50'  
LOT AREAS BY RECORD 2,906.00 SFT  
FAR WITH IZ UNITS IS 3.0 i.e. 8,718.00 SFT  
AREA PERMITTED 4,724.00 SFT  
BLDG FOOTPRINT WITH IZ UNITS ALLOWED 75% i.e. 2,179.50 SFT  
EX. LOT IS OPEN LOT NIL  
EXISTING LOT COVERAGE - NIL  
PROPOSED LOT COVERAGE (1868/2906) = 64.30 %  
PROPOSED 1st FLOOR 1,258.00 SFT  
2 & 3 FLOOR 1,733.0 x 2 3,466.00 SFT  
TOTAL PROPOSED AREA 4,724.00 SFT

AREA PROPOSED - BLDG 'B':  
CELLAR LEVEL CEILING IS MAX. 3'11" FROM THE EXISTING GRADE.  
CELLAR LEVEL IS 1,258.00 SFT & NOT COUNTED IN FAR.

TOTAL AREA PROPOSED - BLDG 'A+B': TOTAL PROPOSED AREA (3846.0+4724.0) 8,570.00 SFT

GOVERNING CODES AND STANDARDS:  
INTERNATIONAL BUILDING CODE IBC 2012, DCMR 12A 2013 BUILDING CODE SUPPLEMENT, DCMR TITLE11  
INTERNATIONAL EXISTING BUILDING CODE IEBC 2012, DCMR 12J 2013 BLDG CODE SUPPLEMENT  
INTERNATIONAL MECHANICAL CODE IMC 2012, DCMR 12E MECHANICAL CODE SUPPLEMENT  
INTERNATIONAL PLUMBING CODE IPC 2012, DCMR 12F PLUMBING CODE SUPPLEMENT  
INTERNATIONAL ELECTRICAL CODE IEC 2012, NFPA NEC 2005  
INTERNATIONAL FIRE CODE IFC 2012, DCMR 12H FIRE CODE SUPPLEMENT  
INTERNATIONAL ENERGY CONSERVATION CODE IECC 2012, DCMR 12I ENERGY CONSERVATION CODE SUPP  
INTERNATIONAL BUILDING CODE 2012, ANSI 117.1 2009, DCMR 12A SUPPLEMENT  
BICYCLE SPACES, 3 LONG TERM+1 SHORT TERM REQD. & PROVIDED PER ZONING CODE 801  
BLDG. IS TYPE VA, SPRINKLED. DOORS WITHIN 2 HR STAIR ENCLOSURES ARE 90 MIN RATED..  
STANDPIPES ARE NOT REQUIRED TO BE PROVIDED PER IBC SECTION 905.  
THE BUILDING WILL BE FULLY SPRINKLED & PROTECTED PER NFPA 13R, i.e. IBC SECTION 903.3.1.2

TYPE OF CONSTRUCTION:  
USE GROUP: R2  
PARKING REQUIREMENTS: PARKING REQUIRED IS 13 SPACES-4 SPACES=9 SPACES/3 = 3 PARKING REQD, PROVIDED IS 2 SPACES 1 PARKING SPACE IS FOR ELECTRIC CAR AND ANOTHER SPACE IS FOR H/C SPACE.

EXISTING BUILDING: EXISTING 1 STORY TOWNHOUSE  
PROJECT STORIES: PROPOSED 3 STORIES + CELLAR.  
STAIRS: SHALL BE PER SECTION 1009  
DWELLING UNIT SEPARATION: SHALL BE CONSTRUCTED AS FIRE PARTITIONS PER CHAPTER 420.2 IBC 2012 SECTION 708.  
PARAPET: SHALL BE PER SECTION 705.11.1 FIRE/SMOKE DETECTORS PROVIDED, REFER MEP  
FIRE SUPPRESSION: AUTOMATIC FIRE SPRINKLER SYSTEMS PER NFPA-13R.  
SECTION EC-4021 - BLDG. THERMAL ENVELOPE BUILDING INSULATION PER TABLE EC-402.1.1  
ALL EXTERIOR WALLS TO HAVE R21 INSULATION. ROOF CEILING ASSEMBLY TO HAVE R49 INSULATION.  
CELLAR TO HAVE R13, SLAB PERIMETER TO HAVE R10 AND SLAB EDGE PROTECTION SHALL HAVE R15.

FIRE/SMOKE DETECTORS: PORTABLE FIRE EXTINGUISHERS INSTALLED.  
SHAFT ENCLOSURE: SHALL BE PER SECTION 713  
OPENING PROTECTIVE: SECTION 716.5 & TABLE 705.8 - OPENINGS IN THE WALL FOR DISTANCE BET 5' TO 10' SHALL BE 25%  
BICYCLE PARKING SPACE REQUIRED 1 SPACE PER 3 UNITS, i.e. 5 REQD. PER DCRA ZR16 - 1 SHORT TERM REQD. PROVIDED.  
NEIGHBOR'S CHIMNEY NO CHIMNEY ON EITHER SIDE.  
SPIRAL STAIR SPIRAL STAIR IS NOT A PART OF MEANS OF EGRESS STAIRS  
INSULATION ALL EXTERIOR WALL INSULATION SHALL BE R21 AND ROOF CEILING TO BE R49, W CLOSED CELL INSULATION.  
ENERGY DISPLAY SCREEN ENERGY DISPLAY SCREEN IS NOT REQD.. PER GREEN ELECTIVE SECTION A106.7

I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION, WITH MY SEAL.

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APARTMENTS: 1920 17th STREET SE

WASHINGTON DC  
COVER SHEET

### REVISIONS

DCRA Comments Response 01.05.19	
DATE	NOVEMBER 26, 2018
DRAWN	CHECKED
JOB NO. A.xxxxxx	SCALE AS NOTED
DRAWING	

A1.00



**UTILITY DISCLAIMER**

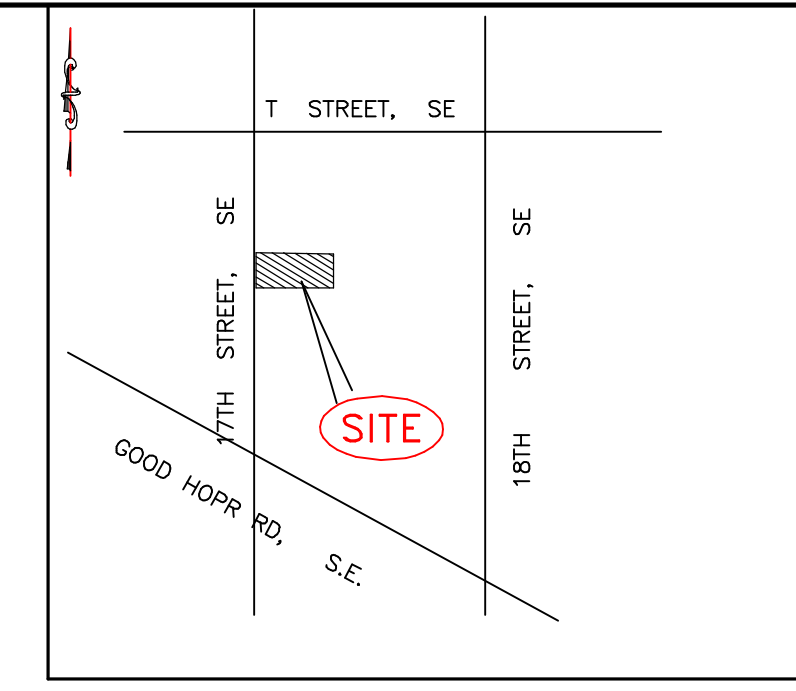
THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

NOTE: EXISTING UTILITY LOCATION ARE APPROXIMATE. THEY ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY. ALL UTILITY LOCATION MUST BE FIELD VERIFIED

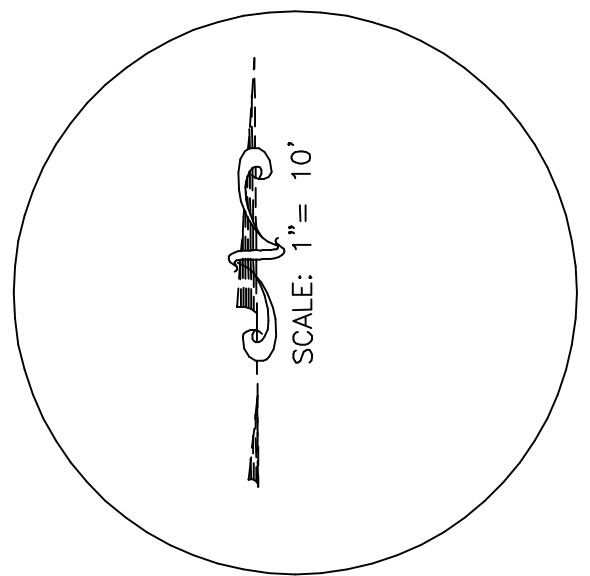
**WASA BENCHMARK**

WASA SEWER MANHOLE LOCATED AT FLORIDA AVE., S.E.

SHEET: EF-7-8 - SE- SEWER  
TOP ELEV- 59.2



**VICINITY MAP**  
SCALE: = NOT TO SCALE



**UTILITY COMPANIES**

POTOMAC ELECTRIC POWER CO.  
701 9th STREET, N.W.  
WASHINGTON D.C. 20068  
202-331-6237

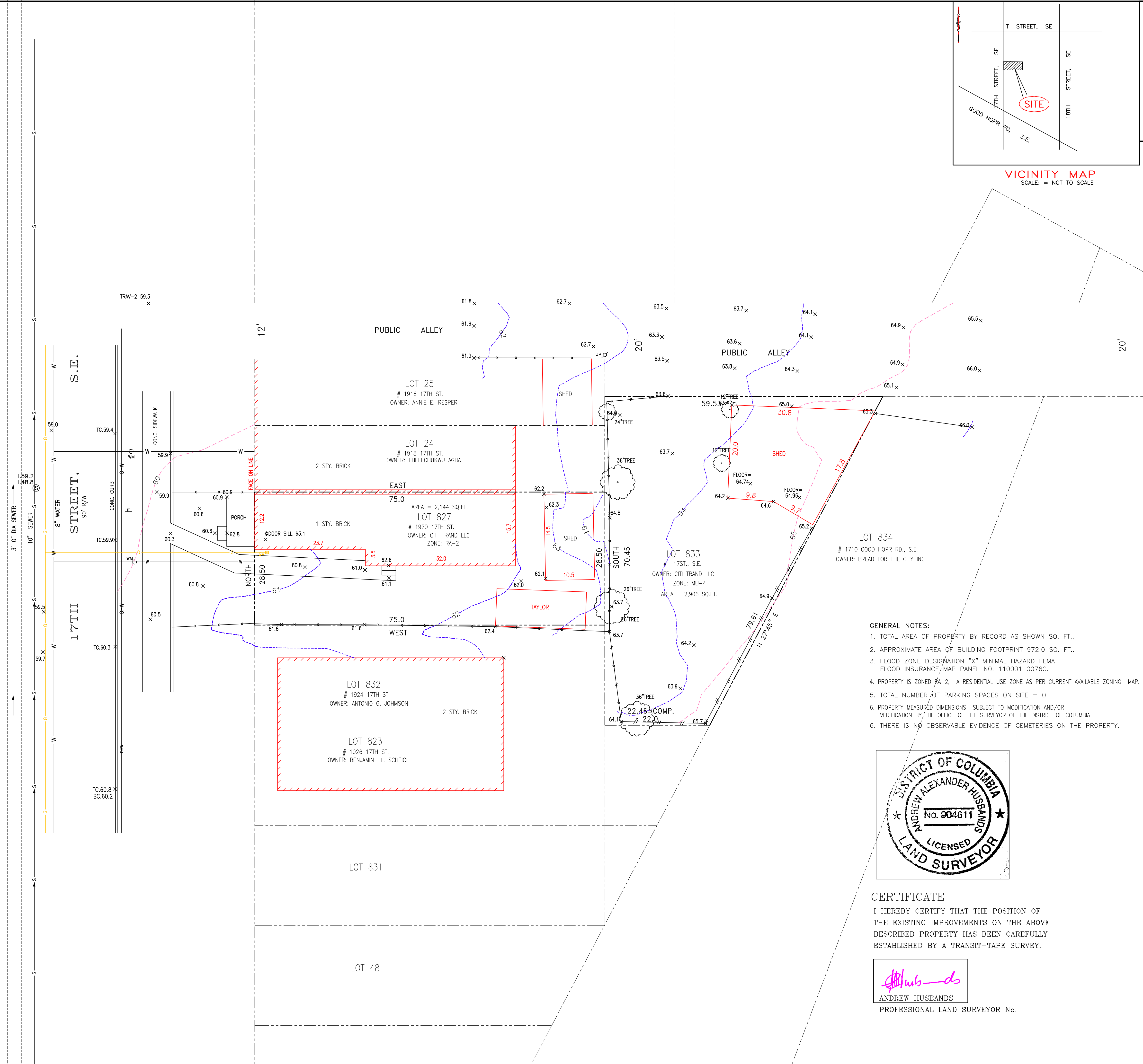
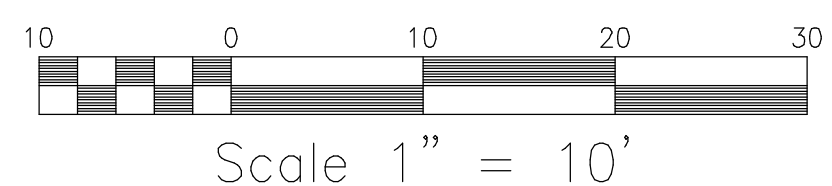
GAS SERVICE  
WASHINGTON GAS COMPANY  
6801 INDUSTRIAL RD  
SPRINGFIELD VA. 22151  
703-750-1000

TELEPHONE SERVICE  
VERIZON  
3901 CALVERTON BOULEVARD  
BELTSVILLE, MD. 20705  
301-595-6052

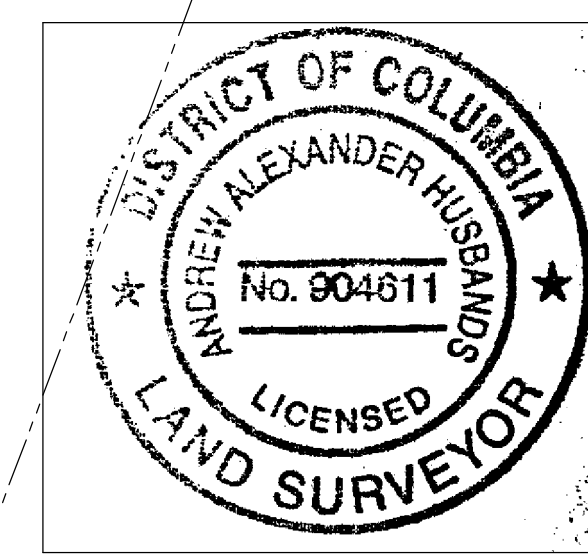
SEWER & WATER SERVICE  
D.C. WATER & SEWER AUTHORITY  
5000 OVERLOOK AVENUE, S.W.  
WASHINGTON, D.C. 20032

**LEGEND**

- ⊕ UNKNOWN MANHOLE
- ⊙ PEPCO MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ WATER MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ MONITORING WELL
- E- ELECTRIC POWER LINE
- G- GAS LINE
- S- SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE
- x-x CHAIN LINK FENCE
- WOOD FENCE
- OHW- OVER HEAD WIRE
- - - PROPERTY LINE



- GENERAL NOTES:**
- TOTAL AREA OF PROPERTY BY RECORD AS SHOWN SQ. FT.
  - APPROXIMATE AREA OF BUILDING FOOTPRINT 972.0 SQ. FT.
  - FLOOD ZONE DESIGNATION "X" MINIMAL HAZARD FEMA FLOOD INSURANCE/MAP PANEL NO. 110001 0076C.
  - PROPERTY IS ZONED RA-2, A RESIDENTIAL USE ZONE AS PER CURRENT AVAILABLE ZONING MAP.
  - TOTAL NUMBER OF PARKING SPACES ON SITE = 0
  - PROPERTY MEASURED DIMENSIONS SUBJECT TO MODIFICATION AND/OR VERIFICATION BY THE OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA.
  - THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES ON THE PROPERTY.



**CERTIFICATE**  
I HEREBY CERTIFY THAT THE POSITION OF THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY.

*Andrew Husbands*  
ANDREW HUSBANDS  
PROFESSIONAL LAND SURVEYOR No.

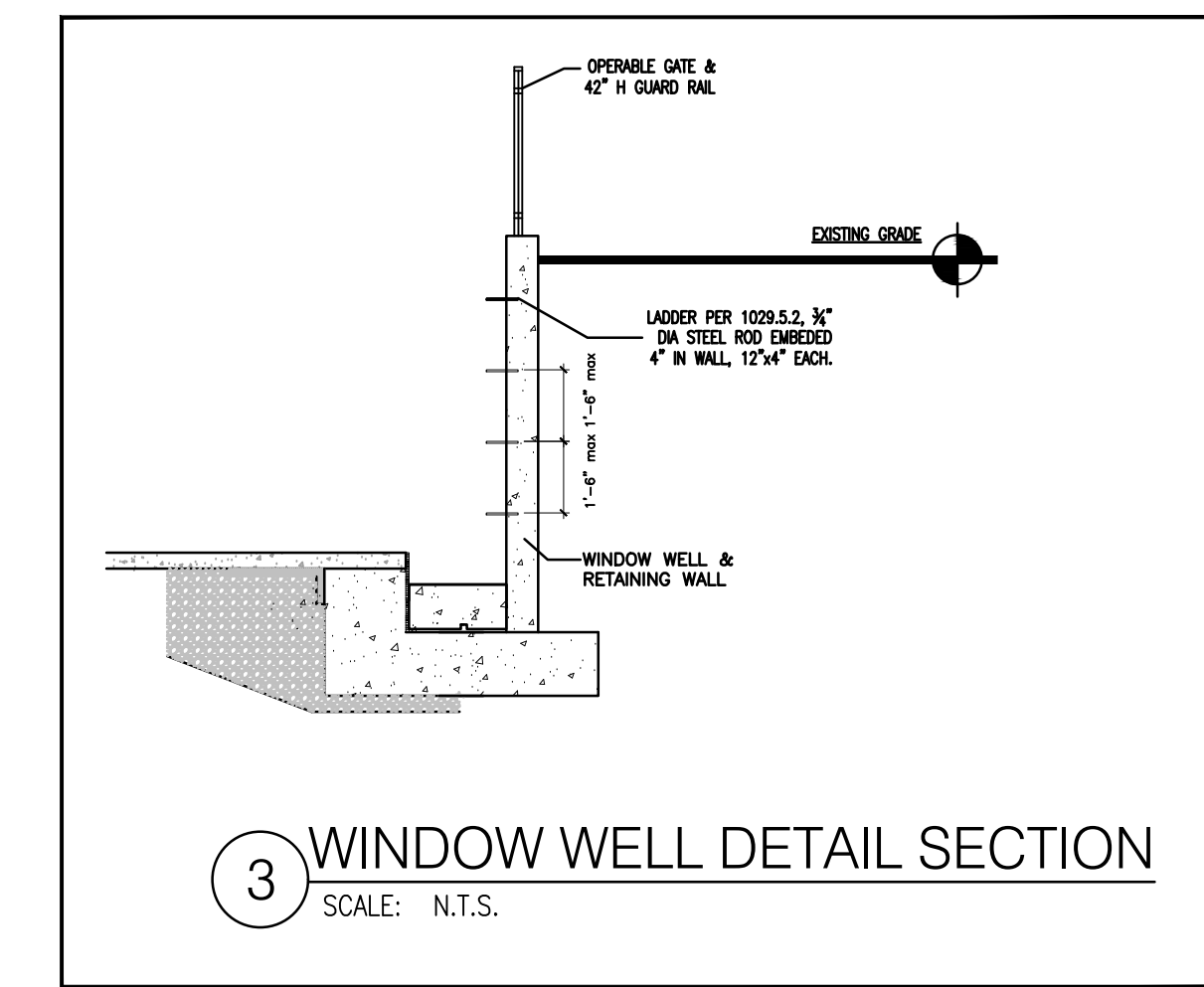
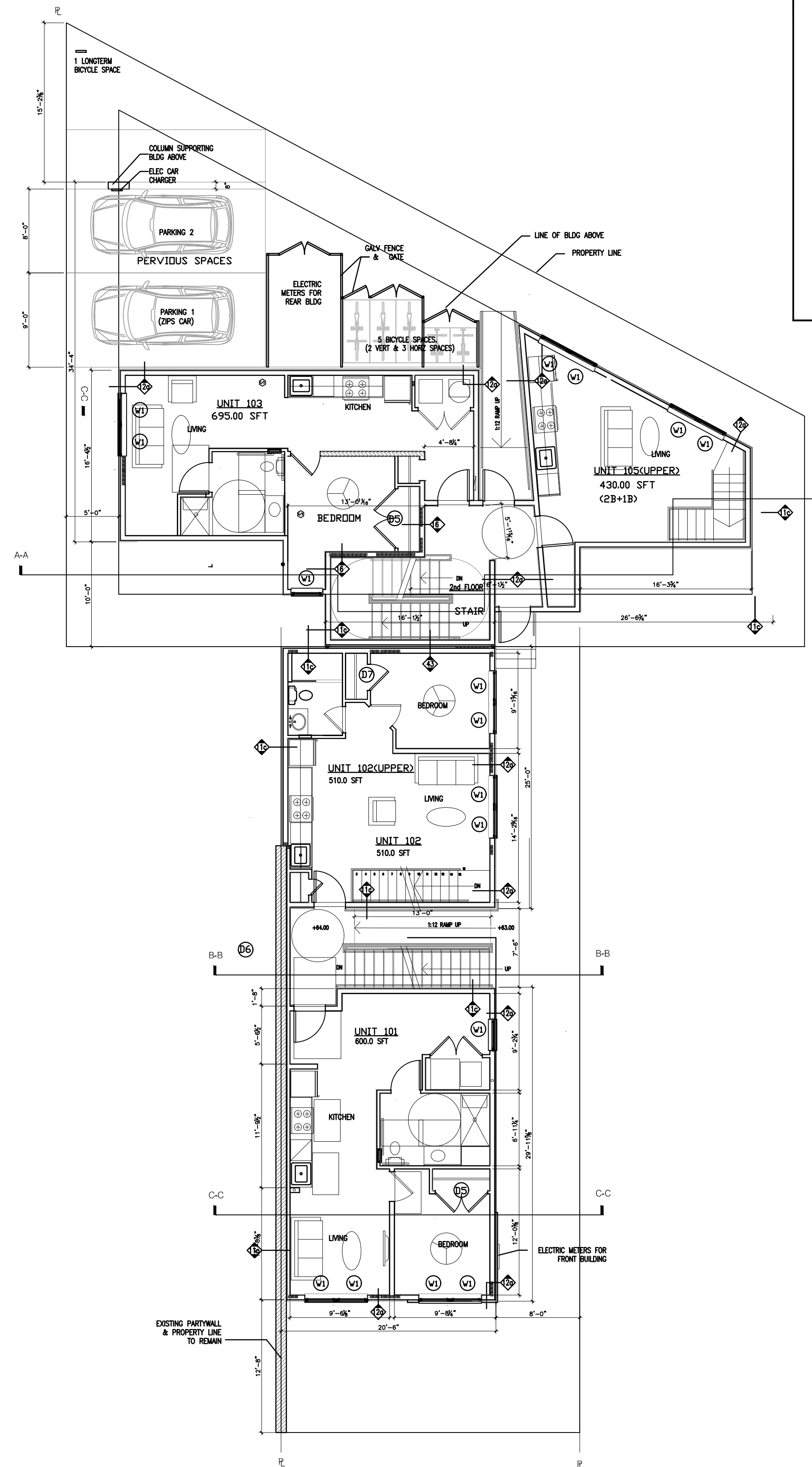
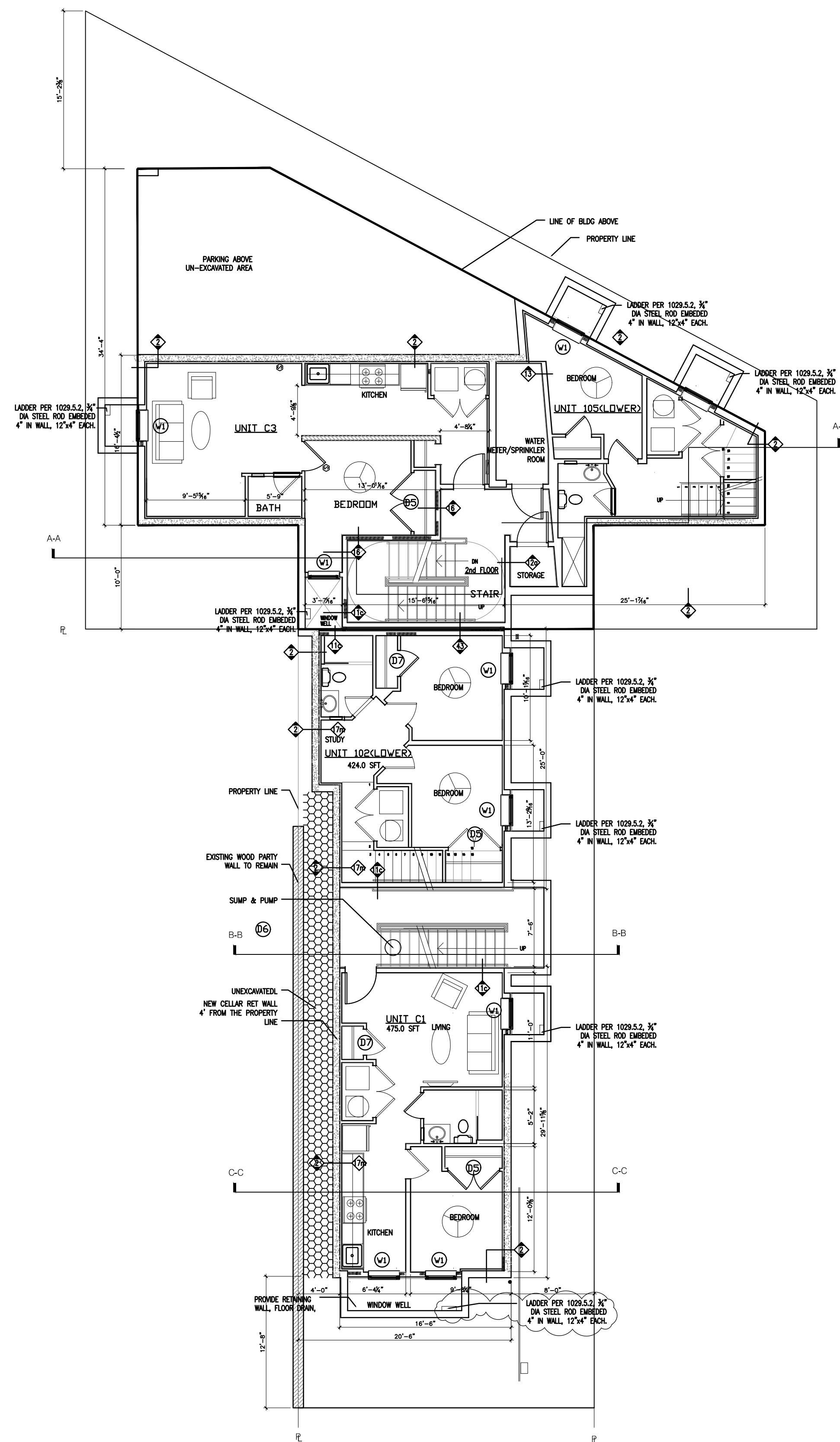
No.	REVISIONS DESCRIPTION	DATE

**EXISTING CONDITIONS**  
PROJECT ADDRESS  
#1920 17TH STREET, S.E.  
LOT 827 + 833 SQUARE 5612  
WASHINGTON, DC.

**AAH CONSULTANTS LLC**  
ENGINEERS SURVEYORS CONSULTANTS  
4200 FORBES BLVD, SUITE 111  
LANHAM, MARYLAND 20706  
301-429-1750 (PH) 301-429-1757 (FAX)

DESIGNED BY: A.A.H.  
CHECKED BY: A.A.H.  
DRAWN BY: R.P.

SCALE 1"=10'  
DATE 03-06-2018  
SHEET D0EE001  
JOB No. 18-041



I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION, WITH MY SEAL.

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APARTMENTS: 1920 17th STREET SE  
WASHINGTON DC  
CELLAR & FIRST FLOOR PLANS

REVISIONS	
DATE	NOVEMBER 26, 2018
DRAWN	CHECKED
JOB NO. A.xxxxxxx	SCALE AS NOTED
DRAWING	

A2.00  
SHEET \_\_\_ OF \_\_\_











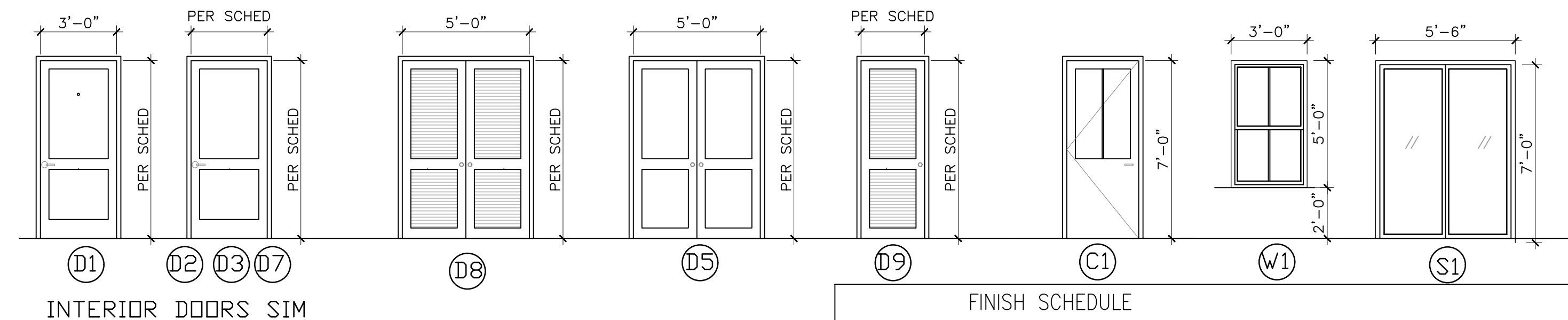
1 SIDE (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"

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APARTMENTS: 1920 17th STREET SE  
WASHINGTON DC  
SIDE (SOUTH) ELEVATION

2 DOORS, WINDOWS & FINISH SCHEDULE  
SCALE: NTS



WINDOW SCHEDULE					U/FACTOR
W1	36x60	D HUNG	VINYL	1" INSUL DBL PAN	U=0.35
W2					
S1	66x84	SLIDING DOOR	VINYL	1" INSULATED DOUBLE PAN	U=0.35
W1	36x66	D. HUNG	VINYL	1" INSUL D PAN, MULL TOGETHER	U=0.35
W5	48x30	FIXED GLSS	VINYL	1" INSUL SFETY (LOWER PORTION)	U=0.35
W6	48x54	FIXED GLASS	VINYL	1" INSUL SAFETY (UPPER PORTION)	U=0.35
SHGC VALUE TO BE 0.40. WINDOWS CAN BE VINYL, FIBREGLASS OR ALUMN FRAME WINDOWS					

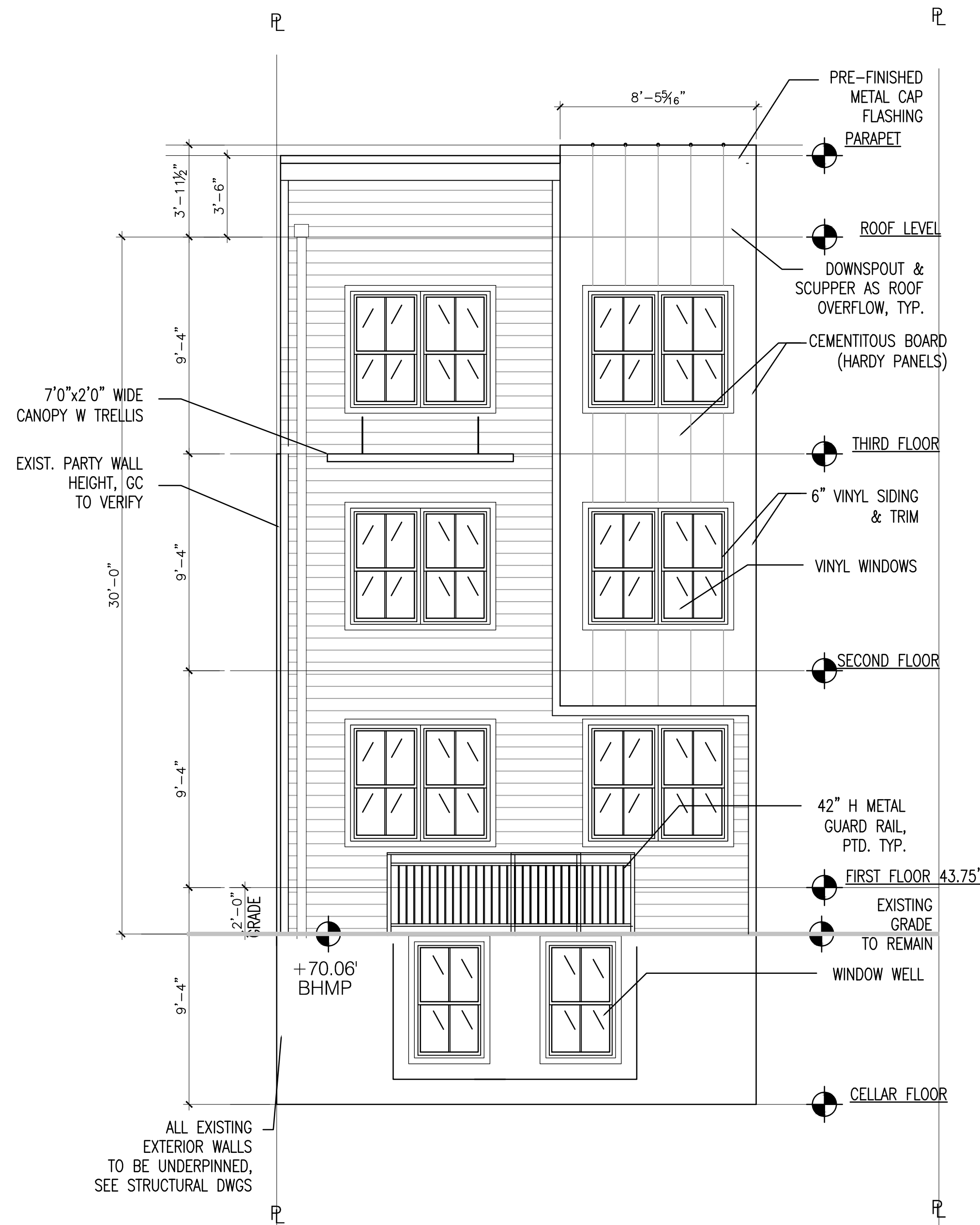
FINISH SCHEDULE					
NAME	FLOOR	WALLS	BASE	CEILING	REMARKS
FOYER	HARD WOOD	PTD.	5" WD	PTD.	
LIVING	HARD WOOD	PTD.	5" WD	PTD.	
DINING	HARD WOOD	PTD.	5" WD	PTD.	
STAIR	OAK	PTD.	-	PTD.	
BEDRM	CARPET	PTD.	5" WD	PTD.	
BEDRM	CARPET	PTD.	5" WD	PTD.	
BATH	TILES	PTD.	TILES	PTD.	
KITCHEN	HARDWOOD	PTD.	5" WD	PTD.	
STAIR	MTL PAN/CONC	PTD.	-	PTD.	MTL PAN CONC

DOOR SCHEDULE (ALL LOCKABLE DOORS SHALL HAVE LEVER LOCKS)	
D1	36x72x1-3/8 WD S CORE DOOR 90 MIN. RATED
D2	32x80x1-3/8 WD H CORE, BEDROOM DOORS
D3	30x80x1-3/8 WD H CORE, BATH SLIDER DOOR
D4	30x80x1-3/8 WD H CORE, BATH DOOR
D5	2-30x80x1-3/8 WD H CORE, BEDROOM CLOSET DOORS
D6	18x80x1-3/8 WD H CORE, CLOSET DOOR
D7	30x80x1-3/8 WD H CORE, CLOSET DOOR
D8	2-30x80x1-3/8 WD LOVERED MECH CLOSET DOOR
D9	32x80x1-3/8 WD LOVERED MECH CLOSET DOOR
COMMON DOORS	
C1	36x84x1-1-1/2 MTL FRAME TOP GLASS CORRIDOR DOOR, SHGC 0.77
C2	36x84x1-1-1/2 MTL FRAME STAIR 90 MIN RATED DOOR
C3	36x84x1-1-1/2 MTL FRAME STAIR 90 MIN RATED DOOR

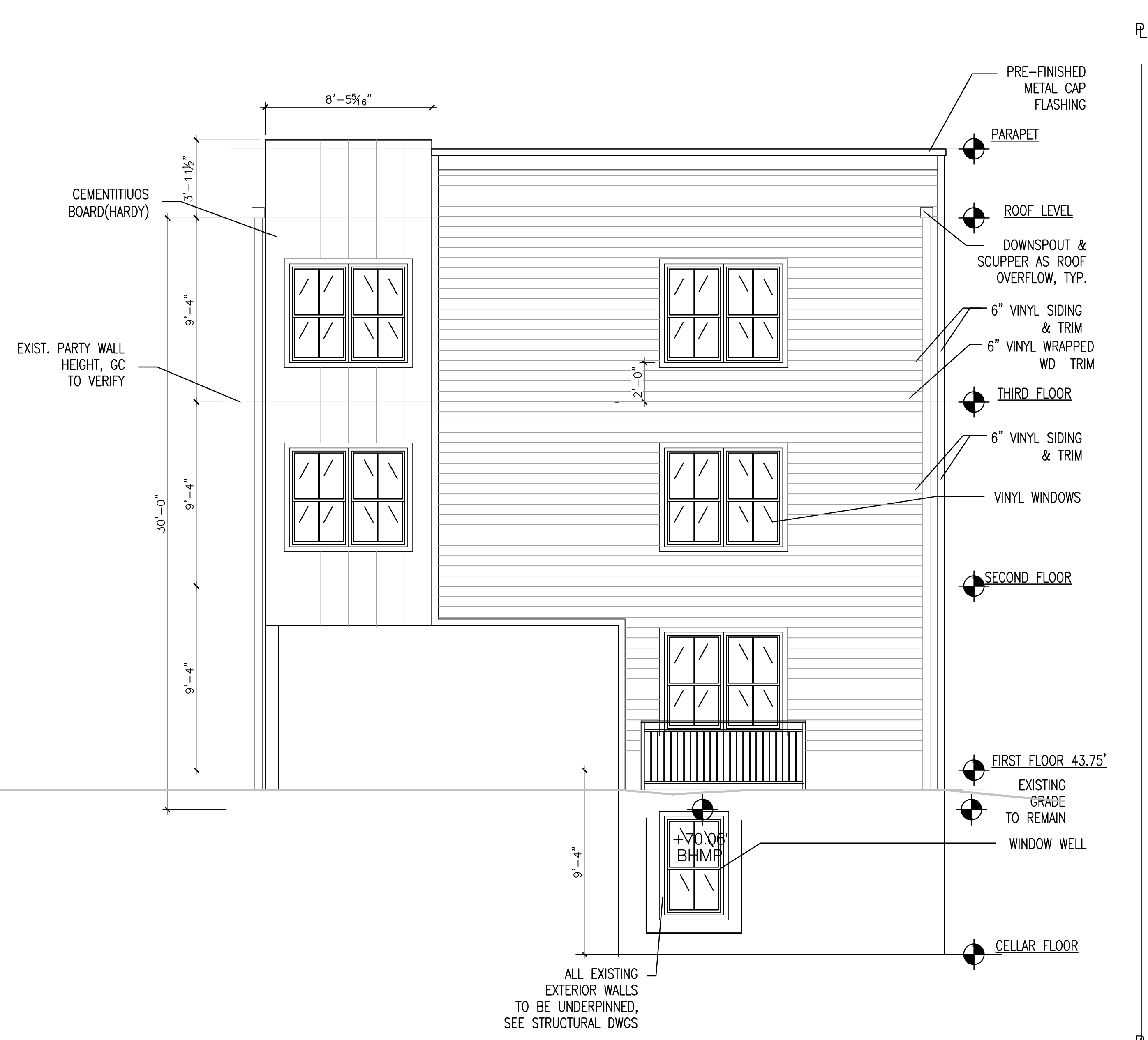
REVISIONS	
DCRA Comments Response 01.05.19	
DATE	OCTOBER 15, 2018
DRAWN	CHECKED
JOB NO. A.xxxxxx	SCALE 1/4" = 1'-0"
DRAWING	

A3.01

SHEET \_\_\_ OF \_\_\_



1 BUILDING A - FRONT(WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



2 BUILDING B - FRONT(NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"

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APARTMENTS: 1920 17th STREET SE

WASHINGTON DC

BUILDING A - FRONT ELEVATION & BUILDING B - FRONT ELEVATION

REVISIONS	
DCRA Comments Response 01.05.19	
DATE	NOVEMBER 28, 2018
DRAWN	CHECKED
JOB NO. A.xxxxxxx	SCALE 1/4" = 1'-0"
DRAWING	

A3.02

SHEET OF

PRE-FINISHED METAL CAP FLASHING  
 VINYL WRAPPED WD TRIM  
 DOWNSPOUT & SCUPPER AS ROOF OVERFLOW, TYP.  
 6" VINYL SIDING & TRIM  
 6" VINYL WRAPPED WD TRIM  
 6" VINYL SIDING & TRIM  
 VINYL WINDOWS  
 42" H METAL GUARD RAIL, PTD. TYP.  
 EXISTING GRADE TO REMAIN  
 WINDOW WELL W LADDER



RATIO OF WALL TO WINDOWS:  
 EAST WALL HAS 7' SIDE OPEN SPACE  
 REAR (EAST) WALL = 2310.00  
 SUM OF WINDOWS = 385.00  
 RATIO OF WINDOW/WALL = 6.00 %  
 (<25% ALLOWED PER 705.8 DCBC 2013)

RATIO OF WALL TO WINDOWS:  
 FRONT (WEST) WALL = 2311.00  
 SIDE (SOUTH) WALL = 2654.00  
 REAR (EAST) WALL = 2310.00  
 SIDE (NORTH) WALL = 3610.00  
 TOTAL WALLS = 10885.00  
 SUM OF WINDOWS AREA:  
 47x30.0 SFT = 1410.00  
 RATIO OF WINDOW/WALL = 13.00 %

1 BUILDING B - SIDE (EAST) ELEVATION  
 SCALE: 1/4" = 1'-0"

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APARTMENTS: 1920 17 STREET SE

WASHINGTON DC

BUILDING B - SIDE ELEVATION

REVISIONS

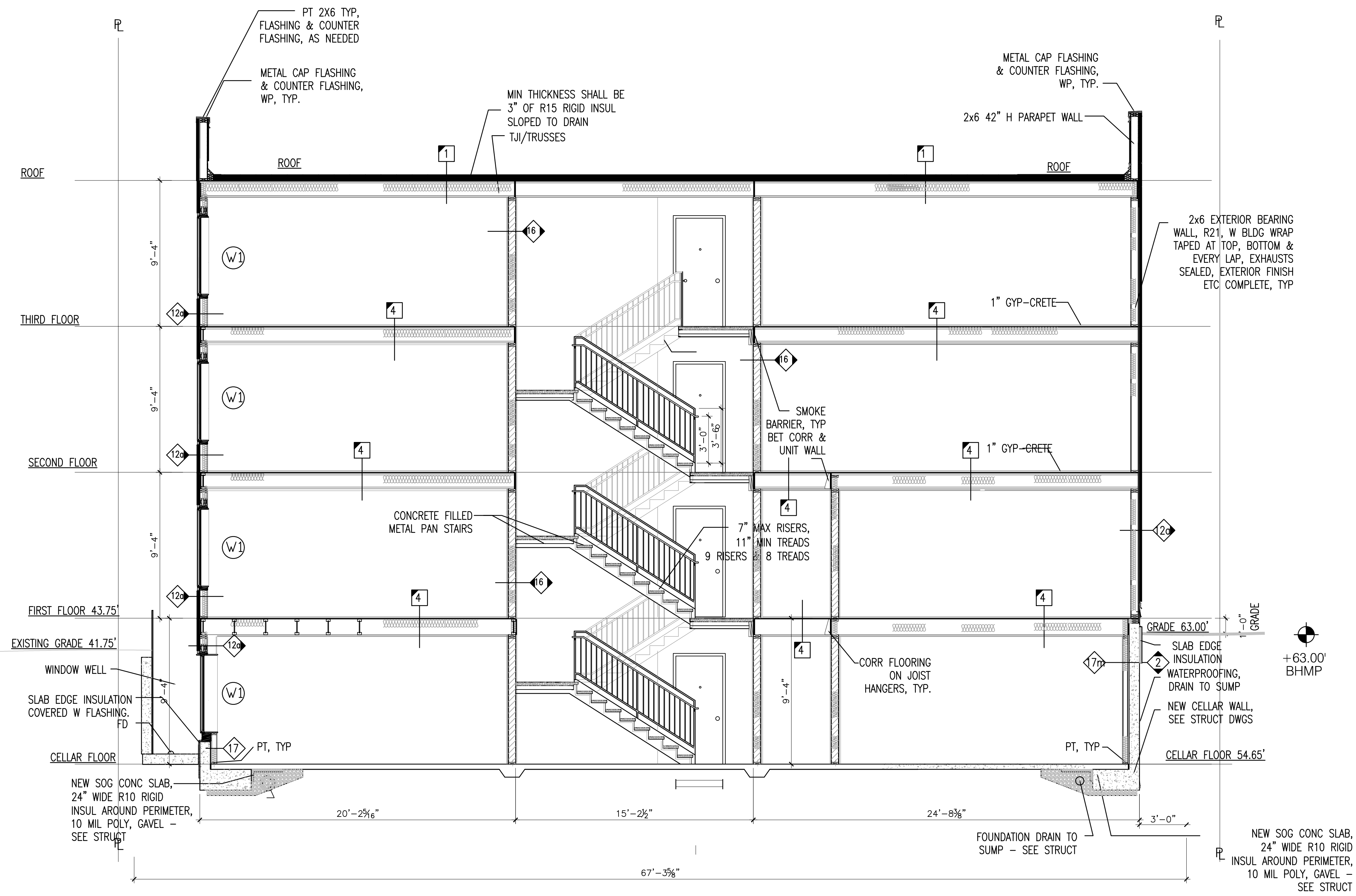
DCRA Comments Response 01.05.19	
DATE	NOVEMBER 28, 2018
DRAWN	CHECKED
JOB NO. A.xxxxxx	SCALE AS STATED

DRAWING

A3.03

SHEET \_\_\_ OF \_\_\_





1 SECTION A-A  
SCALE: 1/4" = 1'-0"

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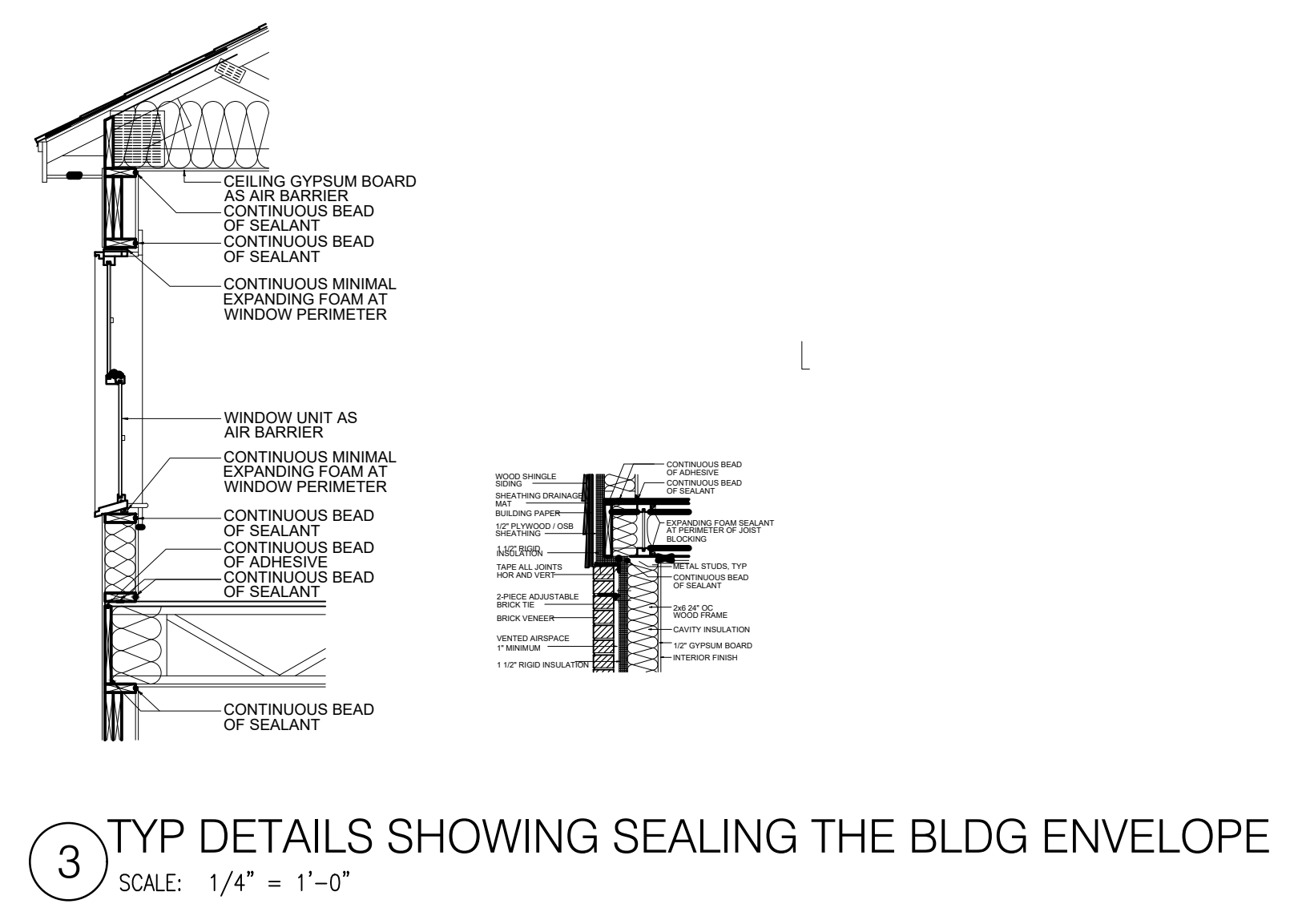
APARTMENTS: 1920 17th STREET SE

WASHINGTON DC  
BUILDING SECTIONS

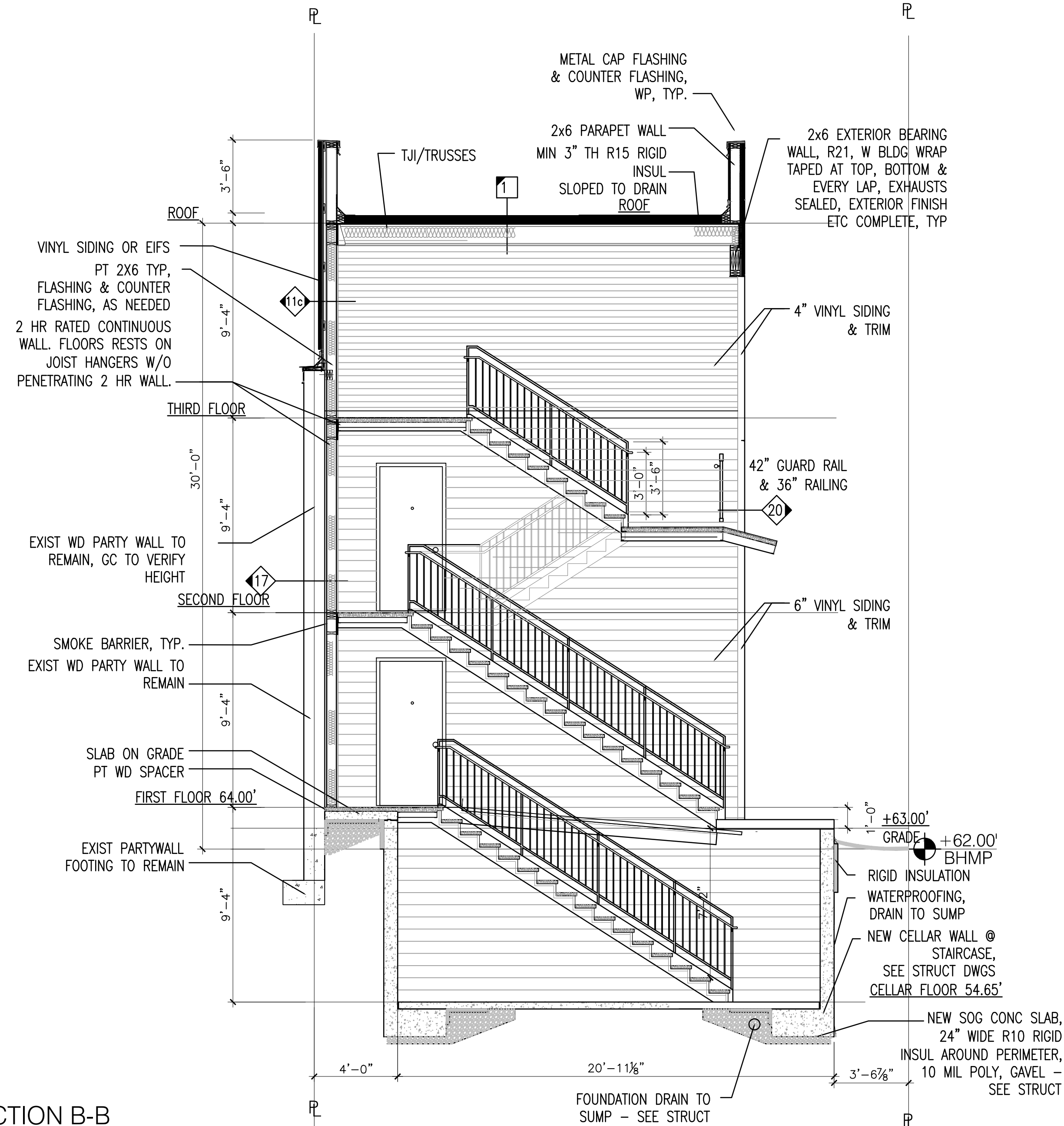
REVISIONS	
DCRA Comments Response 01.05.19	
DATE	NOVEMBER 28, 2018
DRAWN	CHECKED
JOB NO. A.xxxxxx	SCALE 1/4" = 1'-0"
DRAWING	

A4.01

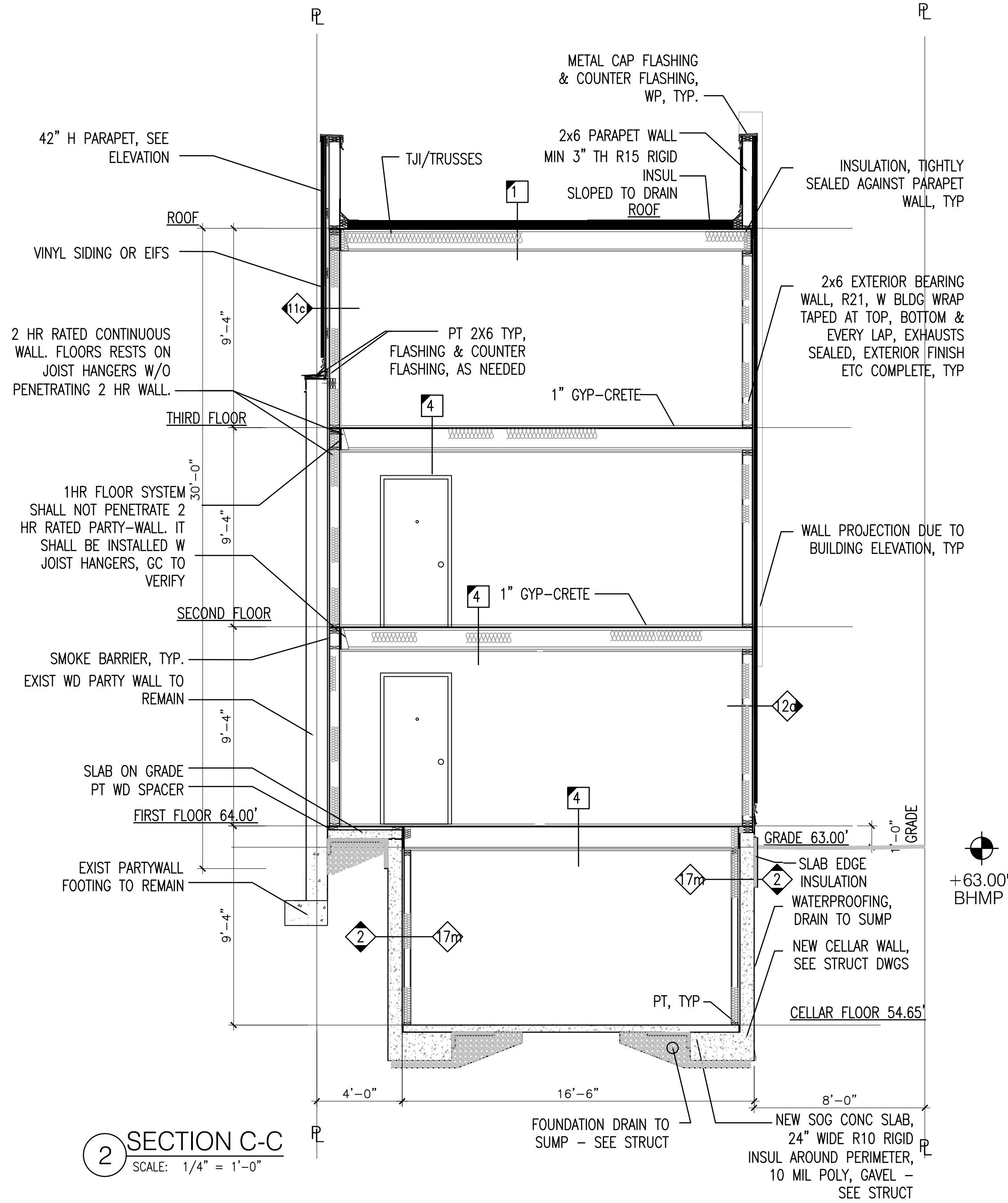
SHEET OF



3 TYP DETAILS SHOWING SEALING THE BLDG ENVELOPE  
SCALE: 1/4" = 1'-0"



1 SECTION B-B  
SCALE: 1/4" = 1'-0"



2 SECTION C-C  
SCALE: 1/4" = 1'-0"

3 UNIT CONFIGURATIONS  
SCALE: 1/4" = 1'-0"

1920 17TH STREET - UNIT CONFIGURATIONS: TOTAL = 13 UNITS					
UNIT #	GROSS AREA	UNIT DETAILS	LOCATION	# OF UNITS	NET AREA
C1	475.00	1 BEDRM+1 BATH	CELLAR	1 UNIT	437.00
C3	655.00	2 BEDRM+1 BATH	CELLAR	1 UNIT	618.00
101	600.00	1 BEDRM+1 BATH	1st FLOOR	1 H/C UNIT	548.00
102(UPPER)	510.00	3 BEDRM+2 BATH	CELLAR+1	1 DUPLEX UNIT	455.00
102(LOWER)	424.00				394.00
103	695.00	2 BEDRM+1 BATH	1st FLOOR	1 H/C UNIT	638.00
105(UPPER)	430.00	3 BEDRM+1 BATH	CELLAR+1	1 DUPLEX UNIT	400.00
105(LOWER)	390.00				362.00
201, 301	600.00	1 BEDRM+1 BATH	2 & 3 FLOOR	2 UNITS	548.00
202(LOWER)	510.00	3 BEDRM+2 BATH	2 & 3 FLOOR	1 UNIT	455.00
202(UPPER)	510.00				455.00
203, 303	695.00	2 BEDRM+1 BATH	2 & 3 FLOOR	2 UNITS	638.00
204, 304	1020.00	3 BEDRM+2 BATH	2 & 3 FLOOR	2 UNITS	930.00

09.29.18

I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF, ARCHITECTURAL DESIGNS INCLUDED IN THIS APPLICATION, WITH MY SEAL.

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APARTMENTS: 1920 17th STREET SE

WASHINGTON DC  
BUILDING SECTIONS

REVISIONS

DCRA Comments Response 01.05.19

DATE NOVEMBER 28, 2018

DRAWN CHECKED

JOB NO. A.xxxxxxx SCALE 1/4" = 1'-0"

DRAWING

A4.02

SHEET OF